

UNITS		AREA BREAKDOWN (m <sup>2</sup> )						Total	
		Phase 02							
		GROUND FLOOR		FIRST FLOOR					
Ground	Lower Gr.	Abutions	Mezzanine	Abutions /Kitchen	Balcony	Stairs*			
01	24	54	6	45	6	25	8	148	
02	26	53	6	25	6	12	9	111	
03	26	53	6	25	6	12	9	111	
04	27	53	6	25	6	12	9	111	
05	28	53	6	25	6	12	9	111	
06	28	53	6	25	6	12	9	111	
07	30	53	6	25	6	12	9	111	
08	31	53	6	25	6	12	9	111	
09	32	53	6	25	6	12	9	111	
10	33	53	6	25	6	12	9	111	
11	34	54	6	45	6	25	9	145	
12	35	46	6	75	8	74	11	220	
13	35	45	6	34	8	25	11	130	
14	37	45	6	34	8	25	11	130	
15	38	45	6	74	8	33	11	177	
16	39	45	6	34	8	25	11	130	
17	40	45	6	34	8	25	11	130	
18	41	45	6	74	8	33	11	177	
19	42	45	6	34	8	25	11	130	
20	43	45	6	34	8	25	11	130	
21	44	68	5	118	15	109	11	325	
Total:		474	585	125	850	153	208	2972	
Total:		1184					1788	2972	2972

Updated: 2020-12-01

**Development Note:**  
All relevant information should be verified at their respective sources and/or authorities by the property owner or prospective property owner. The plans/drawings contained herein may be subject to change, upon verification of the accuracy of the indicated restrictions, servitudes, services, contours, and boundary/building lines.

All information and specifications are correct as of time of publication and are subject to changes as may be required and shall not form part of an offer or contract.

All plans are subject to any amendments approved by the relevant authority. Rendering and illustrations are artist's impressions only and cannot be regarded as representations of facts.

The architect has, to the best of their ability, sourced information available to them at the time of draughting this document. These plans/drawings are for information purposes only.

**\*INCLUDED\*:**

- Future-proofing for Air Conditioning Units
- Double Glazing
- Motion Sensors to Bathrooms and Entrances
- Fibre
- Showers on Ground Floor
- "Feature" units at ends with wrap-around balconies
- Street lighting/lamps
- Feature tiling in Bathrooms
- Slate Riven wall to Entrances
- Powder coated Roller Shutters

OWNERS SIGNATURE  
ARCHITECTS SIGNATURE  
ENGINEERS SIGNATURE



**GOTTSMANN ARCHITECTS**

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217 Kramer Road, Sandton, 2090  
Building No. 3 Kramerville Corner, 2nd floor  
Donovan Gottsmann - Pr. Arch. Reg 21343

**PHASE 02 - AREA PLANS**

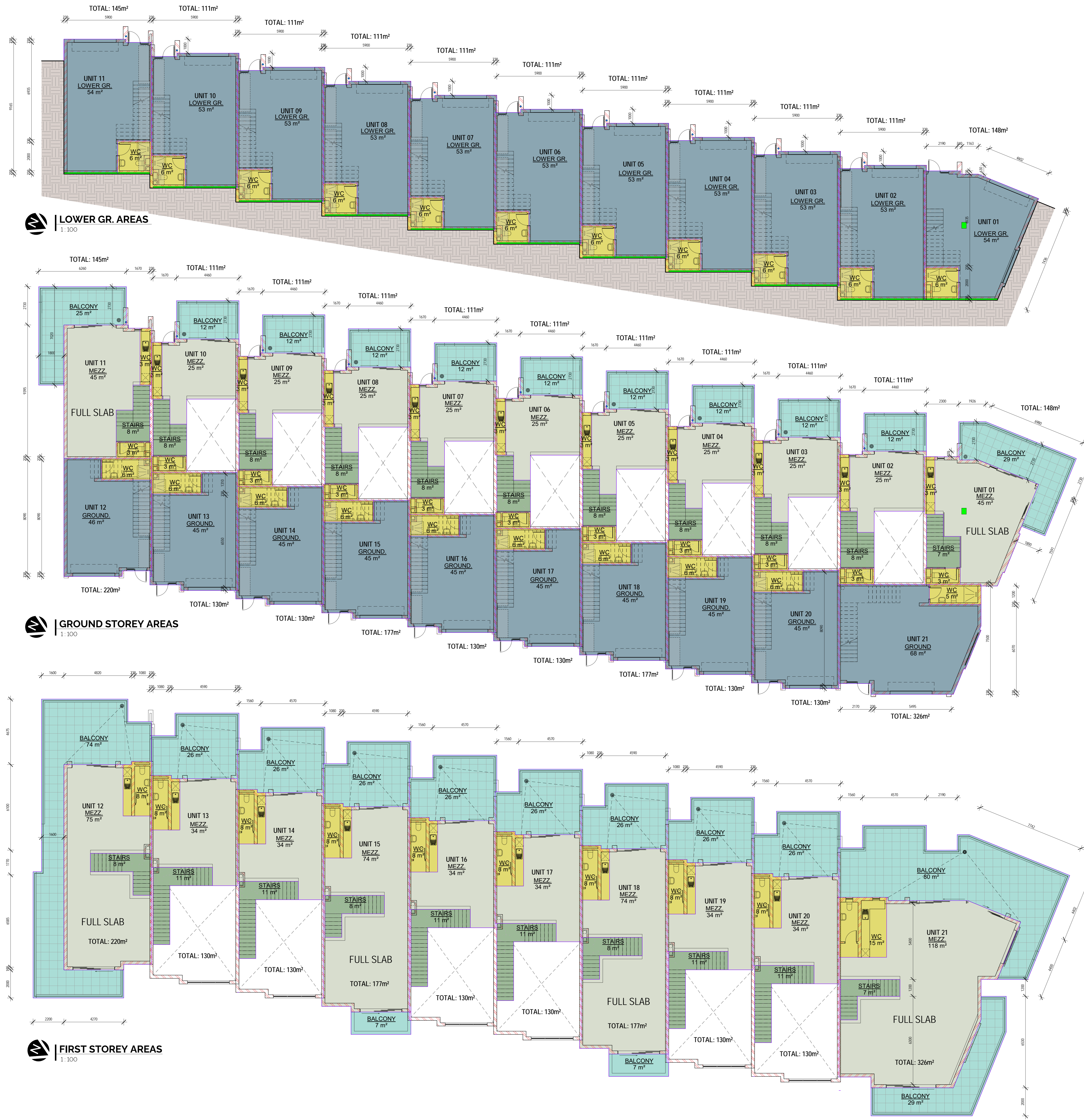
CLIENT  
FK DEVELOPMENTS

PROJECT  
PROPOSED WAREHOUSES ON  
ERF 1188, MOREHILL EXTENSION  
17

**GA1719**

DATE 2020-12-01  
DRAWN BY TR  
CHECKED BY DG  
SCALE As indicated

**A001** AO



**GENERAL NOTES**

- all work to comply with local authorities & SANS 10400
- read signed dimensions in preference to scaling
- the contractor must verify all levels, heights and dimensions on site and to check some against the set of drawings before commencing work and to correct himself from the information given, correct and in accordance with the conditions on site
- contractors are to locate existing services on site and to protect them from damage throughout the duration of the works
- the contractor is responsible for the correct identification of all survey pegs and markers and setting of building with particular reference to grid lines, columns, perforations, internal and external walls from survey markers boundaries and building lines etc.
- any errors, discrepancies or omissions to be reported to the architect before commencing any work
- 4 ply damp proof course under all walls and sills and vertical face of all changes of floor levels
- fastening to all changes of roof levels and parapet walls
- all concrete beds on well rammed filling

**CONCRETE NOTE**

all concrete structures to be cast in accordance with the minimum strength of concrete mixers shall be as follows:

slabbing	10
max	20
75mm traffic surfaces	20
75mm surface beds to be screeded	15
mpa	

reinforced concrete columns, walls, beams foundations etc. to be cast in accordance with the structural engineers specifications.

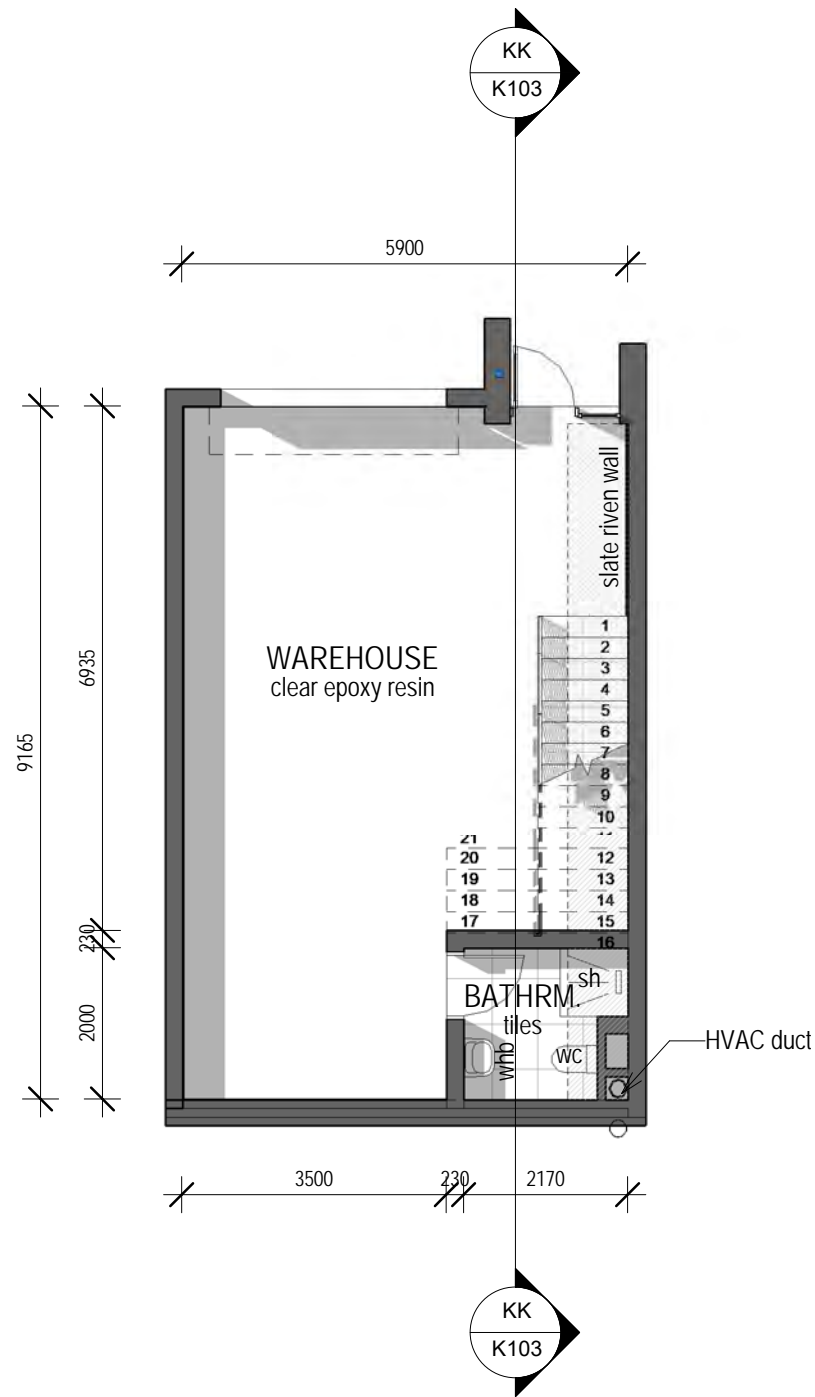
**DRAINAGE NOTE**

- drainage layout as per NBR part 14
- all plumbing and drainage must comply with the relevant local authority and site by laws and regulations
- all trends and junctions in drain to be filled with 1:3 and marked covers at ground level
- wash fittings to have removal traps and to be easily accessible
- rain water down pipes to be min. 200mm dia
- any portion of drain at a depth of 450mm or less below ground level shall be encased in concrete having a min. thickness of all points of 100mm measured from the external surface of the pipe
- any portion of drain passing under any part of the building or footing shall be protected against the backflow of water without bonds or junctions along its entire length under the building and should have a 1:3 below and after passing under the building
- the minimum fall to all drain pipes to be 1:40
- 100mm dia for drains and ventilation pipes of approved material
- 32mm dia waste pipes to wash basins

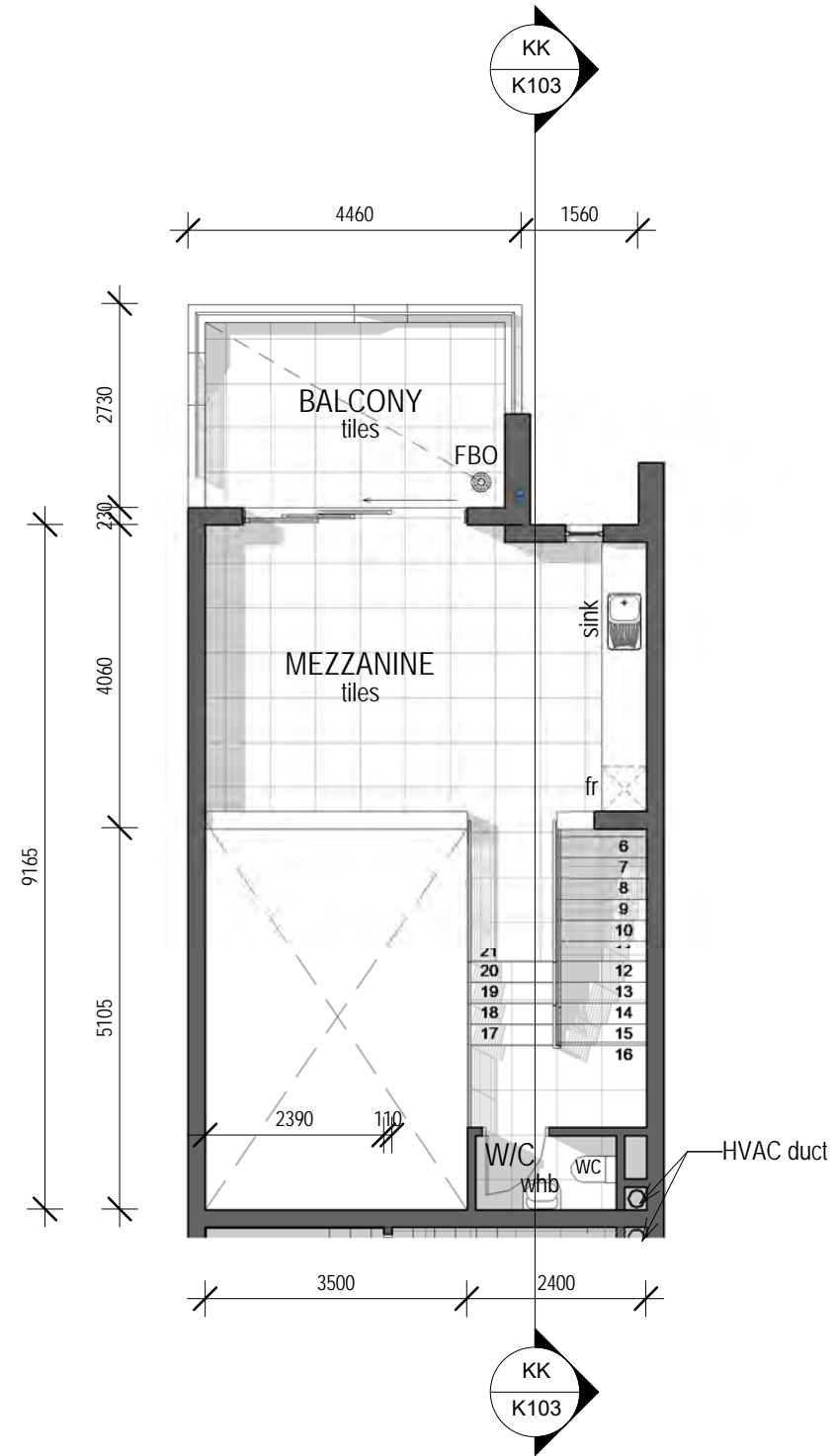
**IMPORTANT**

\*Building MUST be constructed according to all details & specifications contained in these drawings, as per SANS 10400. Any changes to details or specifications must be approved by architects. Energy efficiency specifications must be applied to, according to SANS 10400. All documents to be obtained from architect.

# TYPICAL UNITS 02-10



**AREA**  
 Ground: 59m<sup>2</sup>  
 Mezz: 31m<sup>2</sup>  
 Balc: 12m<sup>2</sup>  
 Stairs: 9m<sup>2</sup>  
**TOTAL: 111m<sup>2</sup>**



**AREA**  
 Ground: 59m<sup>2</sup>  
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 Stairs: 9m<sup>2</sup>  
**TOTAL: 111m<sup>2</sup>**

**LOWER GROUND STOREY PLAN**  
 1:100

**LOWER FIRST STOREY PLAN**  
 1:100



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 2nd floor

GA1819

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 PROJECT PROPOSED NEW WAREHOUSES ON ERF 1188, MOREHILL X17

PHASE 02 - UNIT TYPE  
 K

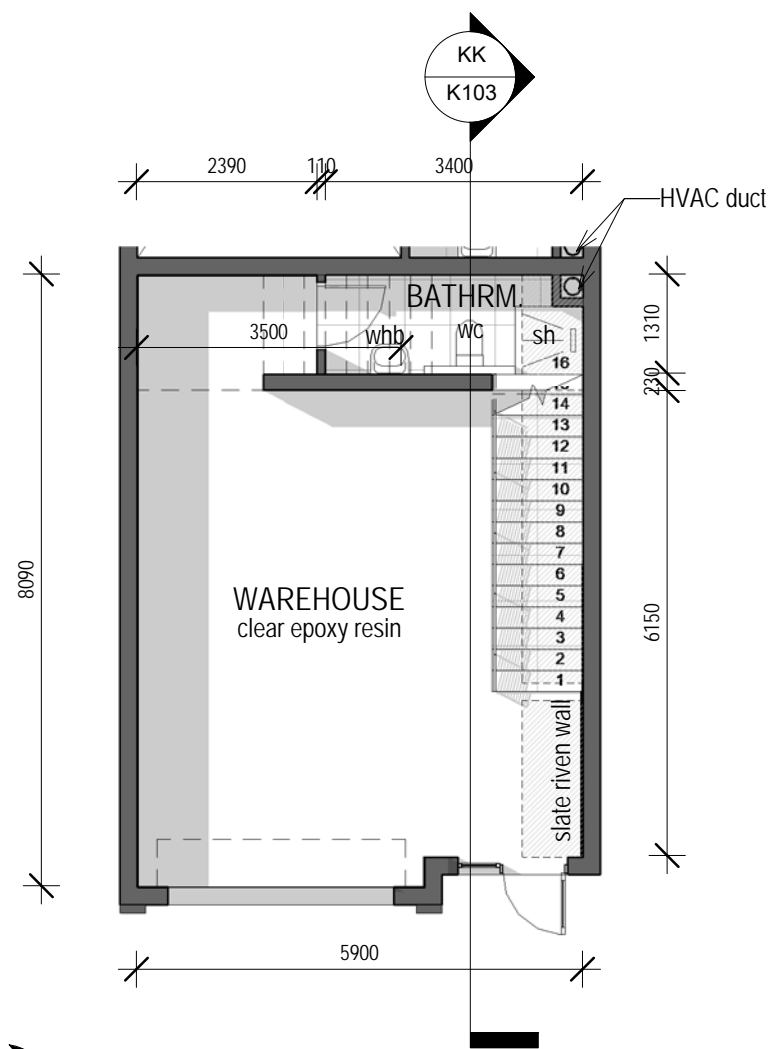
DATE 2020-12-04  
 DRAWN BY TR  
 CHECKED BY DG  
 SCALE 1:100

K101

Donovan Gottsmann  
 (Pr. Arch. Reg 21343)  
 Principal Architect

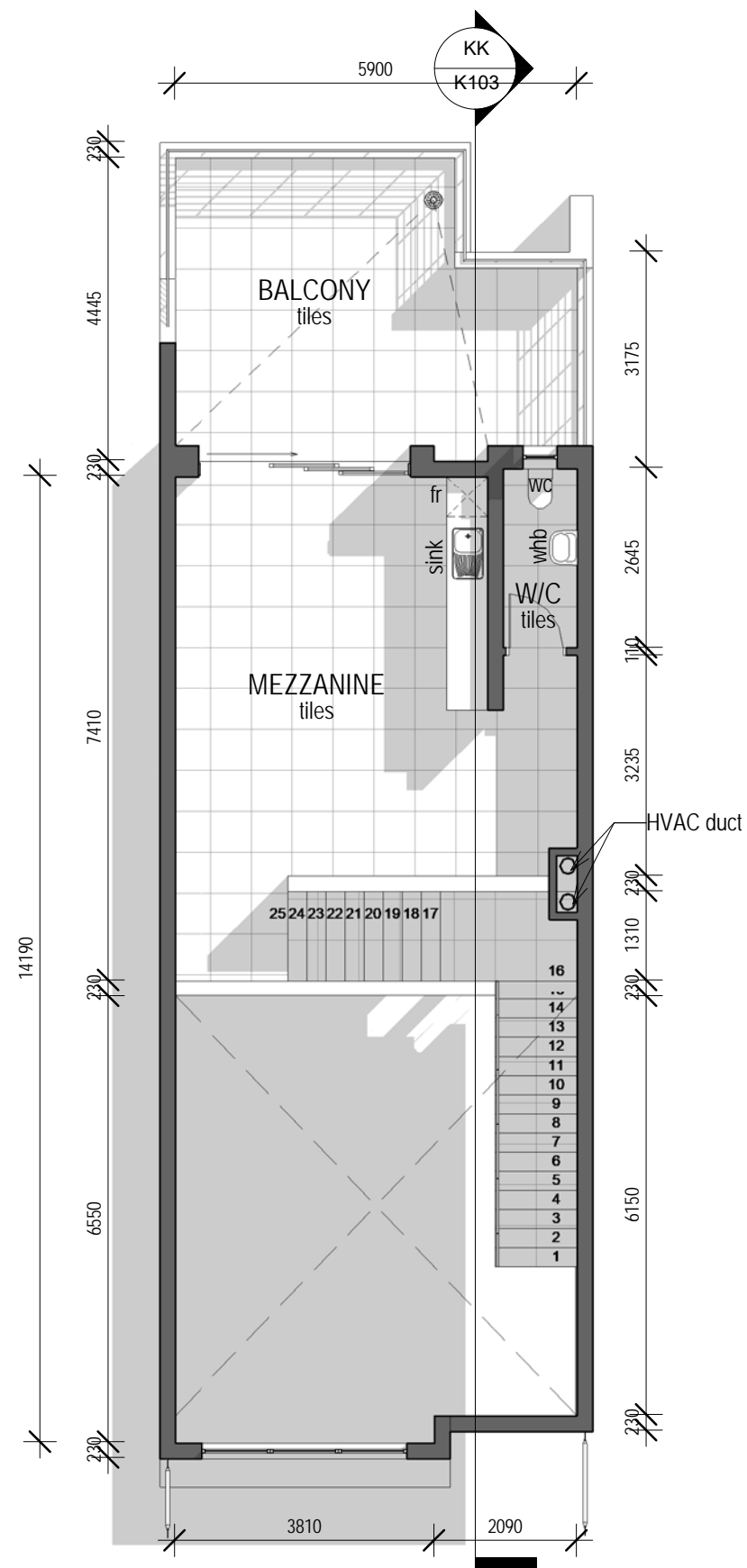
# TYPICAL UNITS

## 13,14,16,17,19 & 20



**AREA**  
 Ground: 51m<sup>2</sup>  
 Mezz: 42m<sup>2</sup>  
 Balc: 26m<sup>2</sup>  
 Stairs: 11m<sup>2</sup>  
**TOTAL: 130m<sup>2</sup>**

**GROUND STOREY PLAN**  
 1:100



**AREA**  
 Ground: 51m<sup>2</sup>  
 Mezz: 42m<sup>2</sup>  
 Balc: 26m<sup>2</sup>  
 Stairs: 11m<sup>2</sup>  
**TOTAL: 130m<sup>2</sup>**

**FIRST STOREY PLAN**  
 1:100



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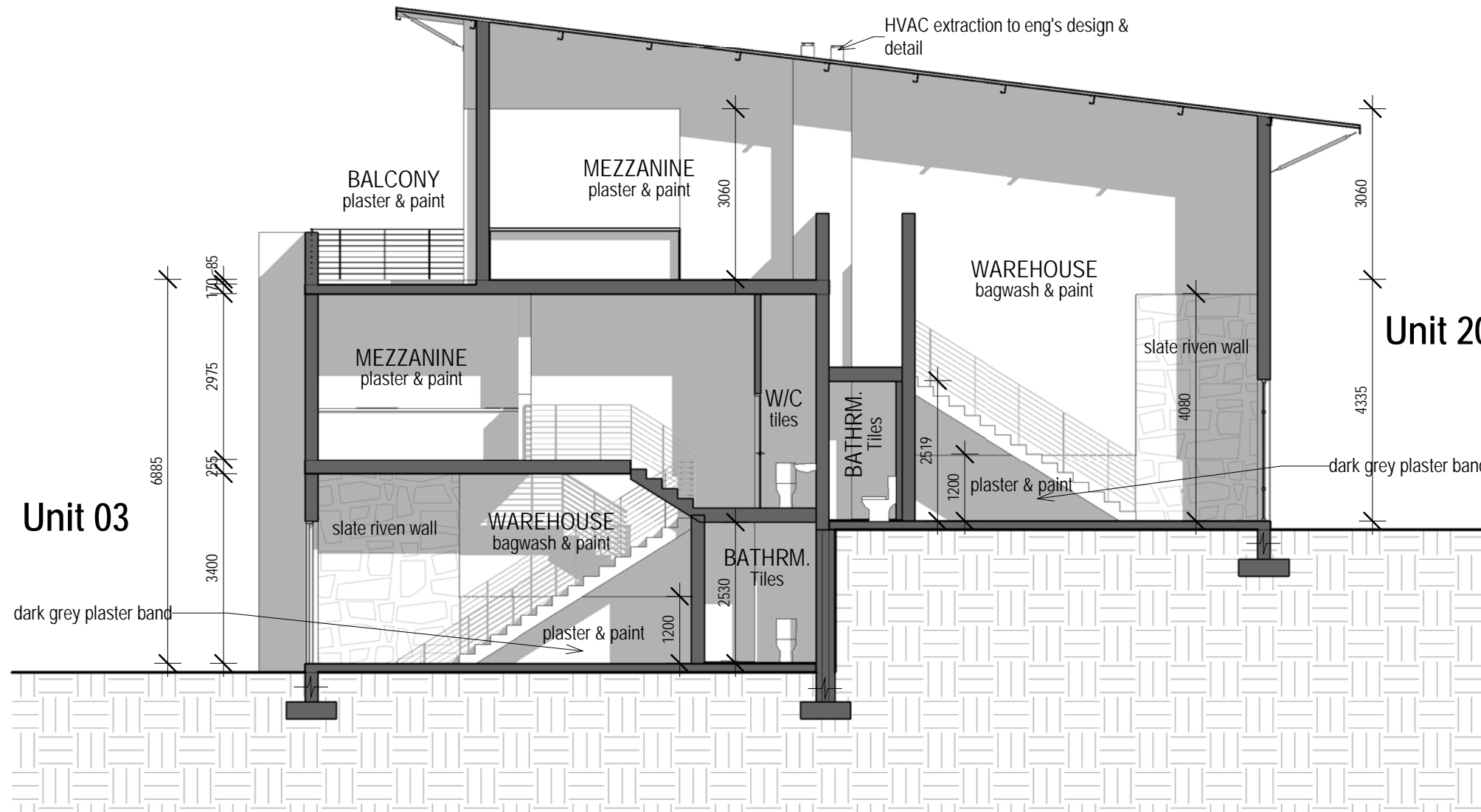
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 PROJECT PROPOSED NEW  
 WAREHOUSES ON ERF  
 1188, MOREHILL X17

**PHASE 02 - UNIT TYPE**  
**KB**

DATE 2020-12-04  
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 SCALE 1:100

**K102**

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 Principal Architect



**SECTION KK**

1:100



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**GA1819**

CLIENT **FK DEVELOPMENTS (PTY) LTD**  
 PROJECT **PROPOSED NEW WAREHOUSES ON ERF 1188, MOREHILL X17**

**PHASE 02 - SECTION KK**

DATE **2020-12-04**  
 DRAWN BY **TR**  
 CHECKED BY **DG**  
 SCALE **1:100**

**K103**

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